



Souvenir

BEAU PLAN

Sales Pack

BEAU 
PLAN

Liste de prix - Price List

No.	m ²	Perches	*Rs
1	986	23.4	7,709,000
2	888	21.0	6,943,000
3	986	23.4	7,709,000
4	988	23.4	7,725,000
5	986	23.4	7,709,000
6	928	22.0	7,256,000
7	987	23.4	7,717,000
8	960	22.7	7,506,000
9	1,049	24.9	8,202,000
10	970	23.0	7,584,000

No.	m ²	Perches	*Rs
11	794	18.8	6,208,000
12	794	18.8	6,208,000
13	823	19.5	6,443,000
14	1,242	29.4	9,711,000
15	962	22.8	7,522,000
16	839	19.9	6,560,000
17	1,100	26.1	8,601,000
18	1,046	24.8	8,178,000
19	976	23.1	7,631,000
20	1,081	25.6	8,452,000
21	1,242	29.4	9,711,000
22	902	21.4	6,995,000
23	1,207	28.6	9,437,000
24	753	17.8	5,888,000
25	767	18.2	5,997,000
26	737	17.5	5,763,000
27	719	17.0	5,622,000
28	896	21.2	6,985,000
29	1,032	24.4	8,069,000
30	995	23.6	7,780,000
31	923	21.9	7,217,000
32	845	20.0	6,607,000
33	973	23.1	7,608,000
34	771	18.3	6,028,000

No.	m ²	Perches	*Rs
35	739	17.5	5,778,000
36	836	19.8	6,537,000
37	869	20.6	6,795,000
38	981	23.2	7,670,000
39	847	20.1	6,623,000
40	920	21.8	7,193,000
41	882	20.9	6,896,000
42	931	22.1	7,279,000
43	922	21.8	7,209,000
44	898	21.3	6,990,000
45	867	20.5	6,779,000
46	818	19.4	6,396,000
47	961	22.8	7,514,000
48	918	21.7	7,178,000
49	629	14.9	4,918,000
50	947	22.4	7,404,000
51	855	20.3	6,685,000
52	675	16.0	5,278,000
53	999	23.7	7,811,000
54	1,074	25.4	8,397,000
55	1,149	27.2	8,984,000
56	1,284	30.4	9,995,000
57	1,036	24.5	8,100,000
58	1,064	25.2	8,319,000

Termes de Paiements (Payment Terms):

Dépôt de Réservation: 30%

Reservation Deposit: 30%

Paiement final: 70% - 4^{eme} trimestre 2025

** Signature de l'Acte & Livraison

Final payment: 70% - 4th term 2025

** Signature of Title Deed & Delivery

*Le prix exclut (Price excludes):

** Frais d'enregistrement: 5%

** Registration Duty: 5%

** Honoraires du Notaire: ± 1.5%

** Notary's fees: ± 1.5%

** Frais de dossier: 2% + TVA

** Administration fees: 2% + VAT

** Les frais ci-dessus seront payable à la signature de l'Acte chez le notaire

** The above fees will be payable upon signature of the Title Deed at the Notary

Prices Valid until 31.03.2024



novaterra

TERRAGRI LTD (PROPERTY)

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 Fax: (230) 243 6161
 E-mail: contact@novaterra.mu
 Website: www.novaterra.mu
 Vat Reg: No.20001814
 Brn: C07 00 11 79

Part of terrera | For the future. From 1838



BEAU PLAN

BEAU PLAN
 DEVELOPMENT LIMITED

LOCATION: BEAU PLAN

SITE: --- ZONE: I & J

PLAN DATED 21 FEB 2024	DRAWN BY VLN	CHECKED BY GN
FILE REF TE399	CAD REF TE499PMA	SCALE A4 : 1/3000
SURVEYED ON 2018/19/20	REVISION ---	

REVISED	Rev	Int.	Date
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This is an approved project by the Economic Development Board under the Investment Promotion (Smart City scheme) Regulations 2015.

DEFINITION OF TERMS

Dwelling: A house used as a place of residence.

Building: A structure covered with a roof and enclosed with walls.

Developer: The Smart City Company, i.e. Beau Plan Development Ltd

Landowner/ Plot Owner: A person or any entity who owns a plot of land within this development

Administrator: A person or company that shall act as the communication link between the Landowner and the Developer.

Outbuildings: A smaller separate building that belongs to the main building. Pool house, gazebos, garages and the likes are considered as out buildings.

Basement: The floor of a building that is entirely below the ground, or the ceiling of the basement being partly above the ground level (of not more than 500mm).

Structure: A building or other object constructed from several parts or refers to anything that is constructed or built from different interrelated parts with a fixed location on the ground. Any object more than 300mm high is generally considered a structure.

Semi-basement: A building floor that is partly below natural ground level but allows natural ventilation and natural light into the said floor.

Architect: A person registered with the Professional Architect Council of Mauritius is responsible for planning and designing a dwelling (regardless of its size) as per the guidelines set in this document.

1 ARCHITECTURAL GUIDELINES

1.1 VISION

Nestled in the northeastern quadrant of the Smart City, the new residential development, Souvenir Plots 1 to 10, boasts a prime location near notable landmarks such as the Greencoast International School and Les Ecuries de Mon Rocher, alongside a plethora of amenities within the Beau Plan Smart City. Accessible via the Bois Rouge main road or through the verdant, internal roadways of the Smart City, this development is poised to become a distinguished member of the 'Association Foncière de Mon Rocher,' which is integrally linked with the 'Association Foncière de Beau Plan.'

The architectural vision for Souvenir Plots 1-10 aims to harmoniously integrate with the existing urban landscape of Beau Plan, while establishing a distinctive residential hub that enhances the smart city's overall aesthetic and community vibe.

This document will outline the principal architectural guidelines for Plots 1-10, carefully considering and incorporating the established architectural vernacular of Beau Plan. Comprehensive guidelines will be provided upon the finalization of the Deed of Sale (DOS) agreement.



Figure 1: Conceptual Master Plan

1.2 SOUVENIRS 1-10_ SUMMARY OF ARCHITECTURAL GUIDELINES

1.2A Plot Coverage

Plot Coverage shall not exceed 30%. Any dwelling shall be ground floor level only.

1.2B Building Setbacks

Building setbacks Requirements:

1. A minimum setback of 5 meters is required for both the roadside and rear-facing boundaries, applicable to all properties including those on corner plots.
2. For side boundaries, a variable setback is mandated: 3 meters for common/shared boundary lines and 5 meters for boundaries adjacent to green spaces.

Refer to the contract documentation for detailed minimum mandatory setback for each plot.

The natural terrain along all boundary lines within the designated non-buildable zone must remain untouched, with the sole exception being the entrance area. Here, modifications to the earth may be undertaken as necessary to facilitate vehicle entry and parking.

All constructions, including swimming pools and their associated pump rooms, must be situated within the defined buildable zone.

Roof overhangs, constructed from concrete or designed with a pitch, can extend up to 1.2 meters beyond the buildable zone's limits.

1.2C Building Heights

Height Regulations:

1. The height from the top of the surface bed to the apex of a pitched roof must not exceed 6 meters.
2. For flat roofs, inclusive of the parapet wall, the maximum height permitted from the top of the surface bed is 4.1 meters.
3. The parapet wall must have a height ranging from 400mm to 600mm, inclusive of the roof slab thickness, to adequately conceal utilities and services.



Figure 2: Souvenir 1-10 conceptual massing plan

1.2D Roofs and Coverage

Roofing Design and Materials Guidelines:

1. Gable roofs are required and must constitute between 65% and 100% when viewed from above
2. This roofing principle must constitute of a pair of gable wall ends oriented to face the external and internal road of the development.
3. The angle of gable roofs should be within the range of 30°-45°.
4. Roofing materials for pitched roofs must be hot-dip galvanised, pre-painted zinc-aluminium profile sheets, or an approved equivalent.
5. Pitched roof overhangs are to be maintained between 0.5m-1.2m. Concrete flat roof overhangs shall not be more than 1.2m.

1.2E Veranda

The inclusion of a veranda is mandatory for each building, comprising at least 10% of the building's total footprint. The veranda must be open on a minimum of two sides, with a minimum depth of 2.5meters, to ensure adequate space and airflow.

For the purpose of compliance, the area of the veranda will be accounted for in the overall plot coverage calculations.

1.2F Facade Finishes

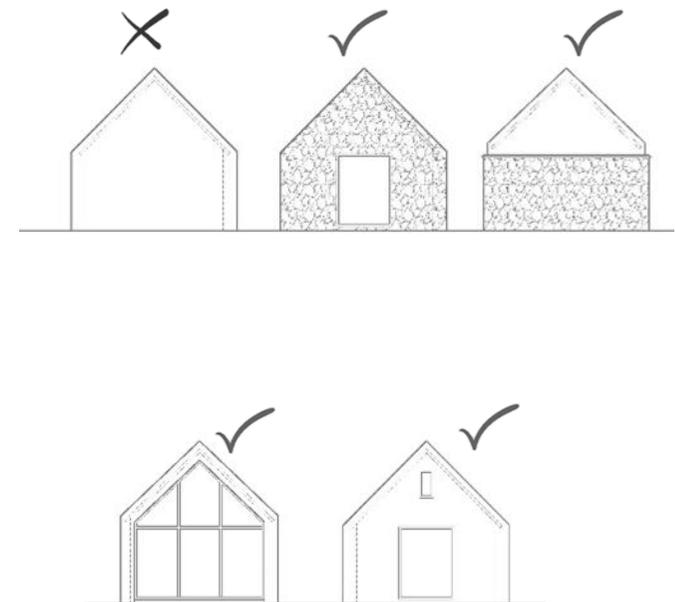
The construction materials approved for use include plastered and painted block walls, stone walls or stone cladding of the 'roche couleur' type, and natural or treated timber, which is designated for use as a feature element. Specific wall colours, along with stone and timber finishes authorised for use, will be detailed and provided at the signature of the Deed of Sale (DOS) to ensure consistency and compliance with design standards.

1.2G Garages

Garages and covered carports must not be positioned to face the entrance driveway directly. Instead, the installation of covered pergolas or similar lightweight structures is permitted to provide shade for parking areas that face the entrance driveway.

**DOES
&
DON'TS**

Figure 3: Does and Don't's: Gable wall end treatments



Parking must be accommodated on-site; the use of off-site parking spaces is strictly prohibited.

1.2H Outbuildings

The construction of outbuildings on the premises is restricted to gazebos, pool houses, garages, and kiosks only. Other than garages, these shall be covered and open at least on 3 sides.

The establishment of religious edifices or dedicated service buildings is generally prohibited. However, the exception is made for religious shrines, provided they are discreetly situated within the main building's footprint. Furthermore, no part of the shrine should be visible from public roads or neighbouring properties, ensuring privacy and adherence to community aesthetics.

Note that plots I130.1 which form part of Association Foncière de Mon Rocher is zoned as Medium Density Plot.

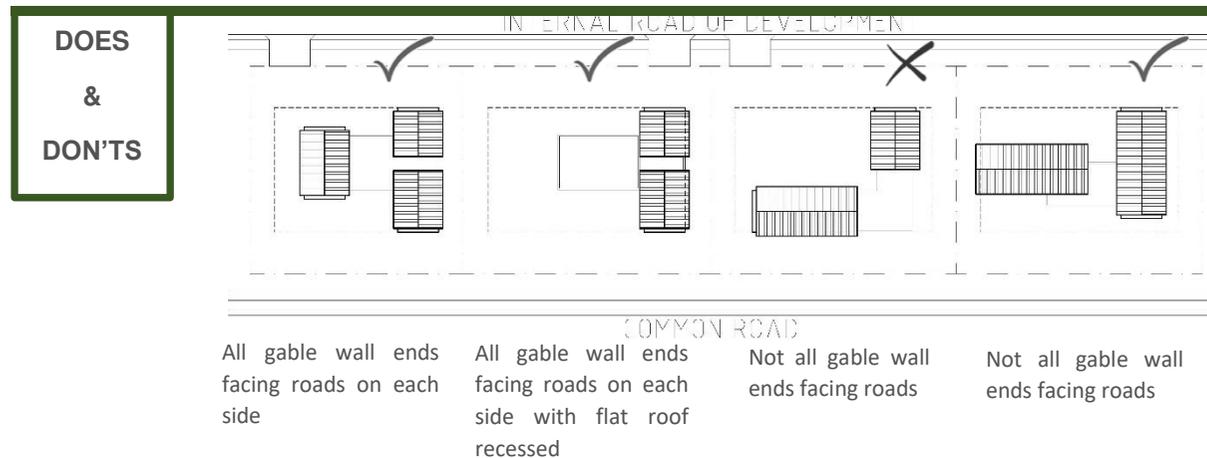
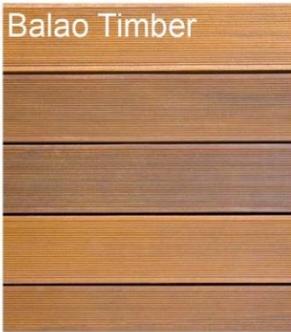
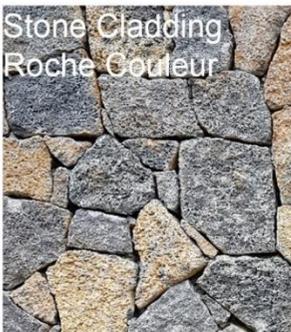
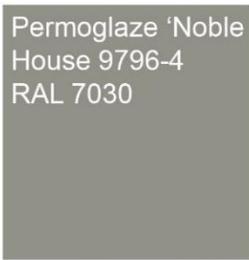
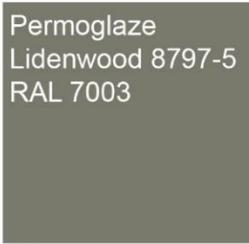


Figure 4: Does and Don'ts: Roof and gable ends principle

1.2I EXTERNAL FINISHES

CLADDING & SCREENS	 Balao Timber	 Creepers on wall	 Stone Cladding Roche Couleur	BETA FENCE RAL 7016	 Permoglaze NSC S 0300-N: RAL 9010	 Permoglaze 'Noble House 9796-4 RAL 7030
	PROFILAGE				 Permoglaze White Smoke 8785-1 RAL 9003	 Permoglaze Lidenwood 8797-5 RAL 7003
					ROOF	
ALUMINIUM OPENINGS	 Tarpaulin Grey RAL 7010	 Stone Grey RAL 7030	 Pure White RAL 9010	MAIN WALL COLOUR (including Boundary wall)		

Disclaimer: The above materials and colours are for illustration purposes. Similar or equivalent alternatives may be approved upon request.

Figure 1: Conceptual Master Plan

1.2 SUMMARY OF ARCHITECTURAL GUIDELINES: PLOTS 11-58

1.2A Plot Coverage

Plot Coverage shall not exceed 40%. Any dwelling shall be ground floor level only.

1.2B Building Setbacks

General Building setbacks Requirements:

1. A minimum setback of 5 meters is required for both the roadside and rear-facing boundaries, applicable to all properties including those on corner plots.
2. For side boundaries, a variable setback is mandated: 3 meters for common/shared boundary lines and 5 meters for boundaries adjacent to green spaces.

Refer to the contract documentation for detailed minimum mandatory setback for each plot.

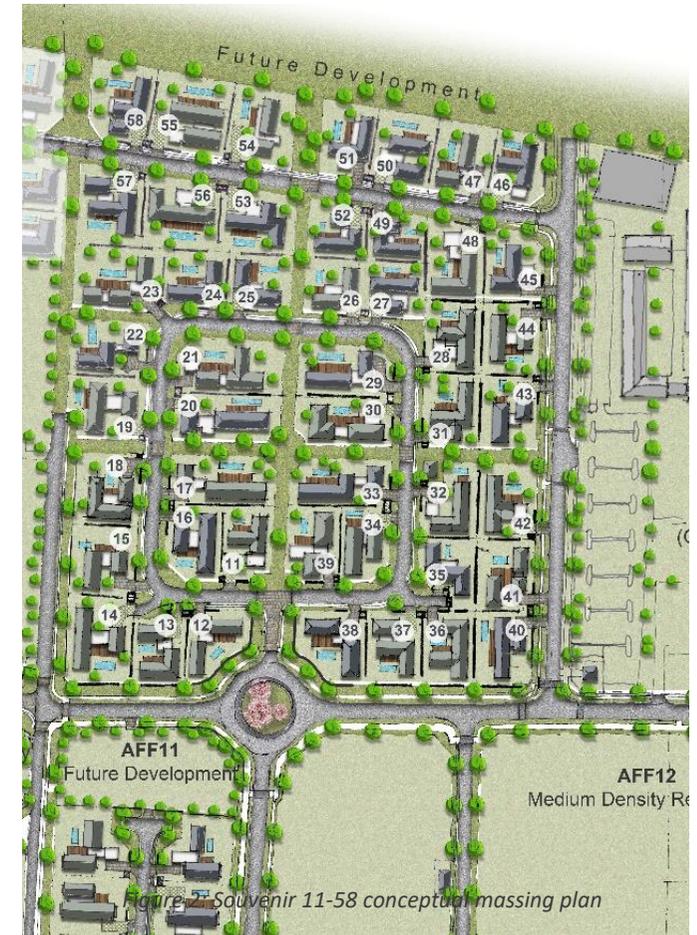
The natural terrain along all boundary lines within the designated non-buildable zone must remain untouched, with the sole exception being the entrance area. Here, modifications to the earth may be undertaken as necessary to facilitate vehicle entry and parking.

All constructions, including swimming pools and their associated pump rooms, must be situated within the defined buildable zone.

1.2C Building Heights

Height Regulations:

1. The height from the top of the surface bed to the apex of a pitched roof must not exceed 6 meters.
2. For flat roofs, inclusive of the parapet wall, the maximum height permitted from the top of the surface bed is 4.1 meters.
3. The parapet wall must have a height ranging from 400mm to 600mm, inclusive of the roof slab thickness, to adequately conceal utilities and services.



1.2D Roofs and Coverage

Roofing Design and Materials Guidelines:

1. Gable roofs are required and must constitute between 35% and 65% of the roof area when viewed from above, with the remaining portion to be constructed as a concrete flat roof.
2. The angle of gable roofs should be within the range of 30° to 45°.
3. Roofing materials for pitched roofs must be hot-dip galvanized, pre-painted zinc-aluminum profile sheets, or an approved equivalent.
4. Pitched roof overhangs are to be maintained between 0.3 meters and 0.6 meters.

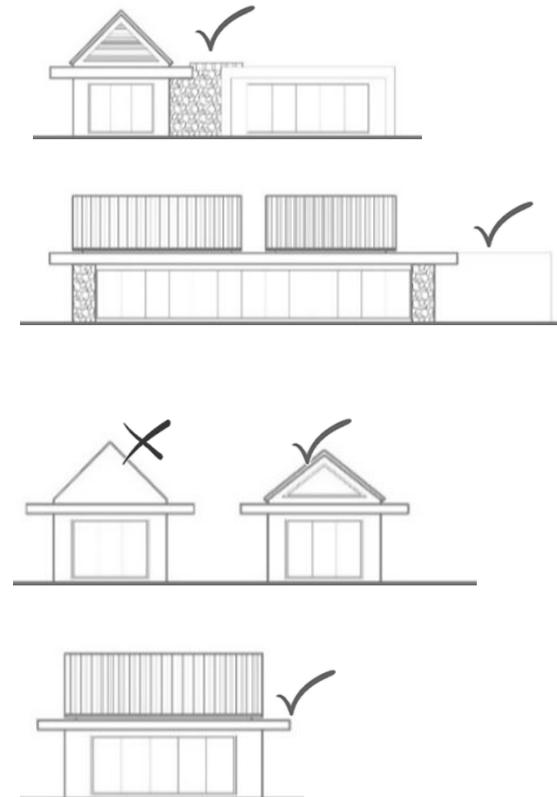
Flat Roof Overhang Specifications:

1. For facades facing the road, concrete flat roofs must extend an overhang ranging from a minimum of 0.9 meters to a maximum of 1.2 meters beyond the external perimeter wall.
2. Side façade flat roofs are permitted an overhang of 0.6 meters to 0.9 meters, measured from the dwelling's external perimeter wall edge.

For detailed examples of acceptable and unacceptable roofing configurations, please refer to figure 3 and 4 of the guidelines. Roof Placement Requirements:

1. It is mandatory for at least a portion of a gable roof, extending up to the ridge level, to be situated within 10 meters of the building line adjacent to the road frontage boundary.
2. The area occupied by a flat roof within this specified zone must not exceed 40 square meters when viewed from above.
3. The positioning of pitched roofs on corner plots will require the explicit approval of the relevant administrator

Figure 3: Does and Don't's: Façade intent



1.2E Veranda

The inclusion of a veranda is mandatory for each building, comprising at least 10% of the building's total footprint area. The veranda must be open on a minimum of two sides, with a minimum depth of 2.5 meters, to ensure adequate space and airflow. *Figure 4: Does and Don'ts: Roof principles*

For the purposes of compliance, the area of the veranda will be accounted for in the overall plot coverage calculations.

1.2F Facade Finishes

The construction materials approved for use include plastered and painted block walls, stone walls or stone cladding of the 'roche couleur' type, and natural or treated timber, which is designated for use as a feature element. Specific wall colours, along with stone and timber finishes authorised for use, will be detailed and provided at the signature of the Deed of Sale (DOS) to ensure consistency and compliance with design standards.

1.2G Garages

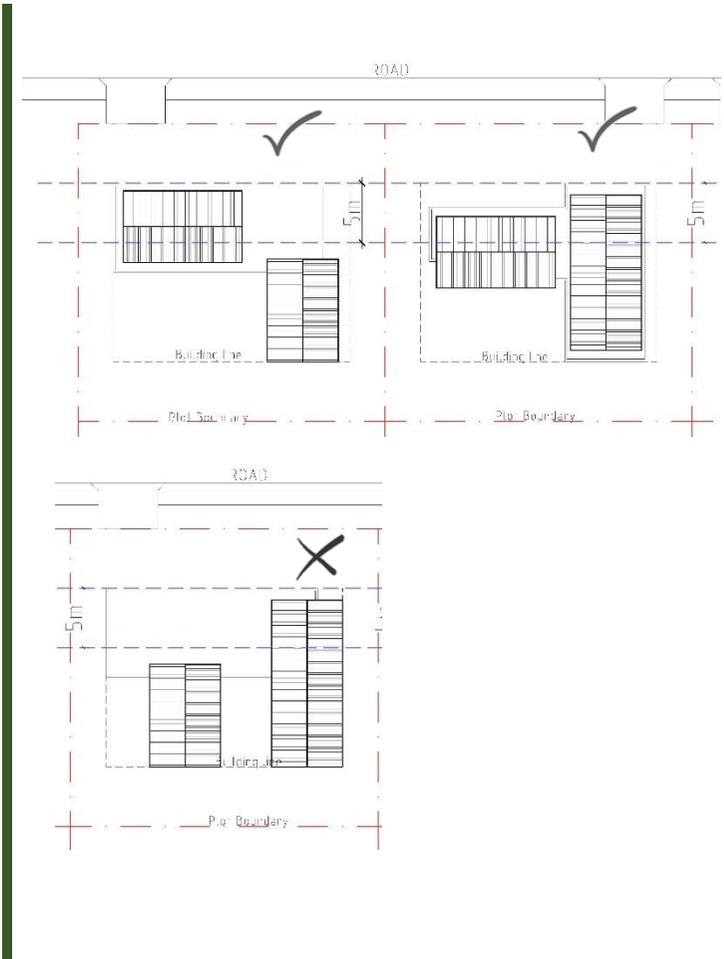
Garages and covered carports must not be positioned to face the entrance driveway directly. Instead, the installation of covered pergolas or similar lightweight structures is permitted to provide shade for parking areas that face the entrance driveway.

Parking must be accommodated on-site; the use of off-site parking spaces is strictly prohibited.

1.2H Outbuildings

The construction of outbuildings on the premises is restricted to gazebos, pool houses, garages, and kiosks only. Other than garages, these shall be covered and open at least on 3 sides.

The establishment of religious edifices or dedicated service buildings is generally prohibited. However, the exception is made for religious shrines, provided they are discreetly situated within the main building's footprint. Furthermore, no part of the shrine should be visible from public roads or neighbouring properties, ensuring privacy and adherence to community aesthetics.



1.2I EXTERNAL FINISHES

CLADDING & SCREENS	 <p>Balao Timber</p>	 <p>Creepers on wall</p>	 <p>Stone Cladding Roche Couleur</p>	 <p>BETA FENCE</p> <p>RAL 7016</p>
ROOF	 <p>PROFILAGE, REF. WINDSPRAY</p>			EXTERNAL WALL PAINT: OPTION 1
				 <p>GENERAL Traffic White Ral 9016</p>
				 <p>ACCENT Mauvillac, Phantom 2956T</p>
ALUMINIUM OPENINGS	 <p>GRIS DESERT</p>	 <p>RAL 9016- Traffic White</p>		EXTERNAL WALL PAINT: OPTION 2
				 <p>GENERAL Mauvillac, Mystique 2876P</p>
				 <p>ACCENT Mauvillac, Dark Cloud 2879T</p>

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